

# Design Guidelines



## THE PURPOSE OF THESE GUIDELINES

These design guidelines are intended to provide quality assurance for purchasers of land in the Baywater Estate, Curlewis.

The purpose of the guidelines is to ensure that homes and landscaping on all Lots comply with the estate's building restrictions, which set parameters to encourage harmonious residential development without stifling legitimate creativity or flexibility.

This document is a summary for information purposes only. The full terms and conditions of the building restrictions are contained in the contract of sale for Lots in the Baywater Estate. The contract of sale should be read carefully, and legal advice obtained, prior to entering into any contract to purchase land.

## DESIGN OBJECTIVES

The Baywater Estate building restrictions aim to promote:

- “coastal contemporary” house design, an architectural style with a modern beachside theme that better describes living in Australian coastal zones;
- site responsive design that generates visual and spatial connection with the coastal landscape;
- contemporary design which complements and enhances the natural coastal features and character of the area;
- an integrated outcome for the development through complementary building forms, materials and colours which respond to the surrounding coastal vegetation and avoid clashing between homes; and
- standards for design, material and colours which preserve the architectural features of the site and protect the character and value of the neighbourhood.

## DESIGN PRINCIPLES

### Site planning and layout

The design and position of your home should reflect the site and the surrounding environment. Special consideration should be given to orientation, the amenity of neighbouring homes, the streetscape, the natural slope of the ground, and views.

The design should also embrace passive energy strategies, solar access and northern light to habitable rooms. Existing or future neighbouring properties should be taken into account.

### Streetscape

Buildings must be designed so that entries, garages, balconies, verandahs and open spaces create an interactive frontage to the street. This will contribute to an attractive streetscape.

### Corner Lots

Corner Lots have a prominent position in the streetscape. Careful consideration must be given to both the front and side street frontages in regard to the articulation of the built form, including varying materials, windows, roof form and door openings.

Corner Lots with a proposed crossover on a secondary street frontage may be considered on a case by case basis.

For the purposes of these Design Guidelines, “Corner Lot” means a lot without an adjoining neighbouring lot on one or more sides (other than Lots 40, 70 and 88).

### Landscaping

The Baywater Estate is located in an area with a unique landscape, with the Corio Bay coastline to the north and the Griggs Creek corridor to the east.

Residential gardens are encouraged to reflect these surroundings through the use of sympathetic and hardy landscape materials such as local native plants, timber elements, gravel (excluding driveways) and stones or exposed aggregate concrete as paving, and mulch to create a natural garden setting.

### Tree planting

Trees or other vegetation must not exceed 4m in height.

### Building setbacks

The building setbacks are designed to respect view corridors, streetscape articulation and solar access to habitable rooms in adjacent buildings. All dwellings must be contained within the building envelope detailed on the plan of subdivision for a particular lot.

## Dwelling design

Dwelling designs should be creative and innovative within the controlled environment.

Coastal contemporary architecture encourages a variety and blend of styles, particularly buildings that are lightweight construction and articulated (*so that volumes and mass are broken and do not appear bulky and monolithic*).

Use of a mixture of materials will be supported. Timber and other lightweight construction materials, in particular, will be preferred to conventional bricks and block work.

Building design must take into consideration the appropriate scale and proportions in relation to the size of the lot and any adjoining buildings.

Articulation of facades is encouraged and should emphasise the use of colours and a variety of materials and textures.

A sense of entry for both pedestrians and vehicles must be apparent from the street.

Historical styles (*i.e Georgian, Victorian, Federation*) are considered inappropriate.

Verandahs, pergolas and other built elements should be considered to articulate uninterrupted walls and building form.

## Materials and colours

The fundamental architectural principle of coastal contemporary style is the variety and mix of materials.

- Reflective materials are not considered appropriate. Material and colour selection should be integrated with the local character of the area and the development.
- Timber cladding in horizontal or vertical profiles is encouraged.
- Other lightweight cladding materials are also encouraged (upon sample approval).
- Rendered brick or block work will be considered provided they do not create an appearance of mass and weight. Render brickwork will be accepted provided that any such brick or block work is of a smooth impervious finish which fully conceals the materials beneath the render.
- Lot frontage(s) must not have exposed eaves and guttering to hip roofs or hip to valley roofs.
- Natural stone, face brickwork or face block work is acceptable if it compliments the other

materials and does not dominate the appearance of the building.

- Window and door frames should be timber or aluminium finished in an approved colour.
- Clear glazing is preferred, reflective glass is not.
- Colours should be from the darker end of the spectrum, with lighter tones to soften the form. bright and reflective colours should be avoided.

## APPROVAL PROCESS

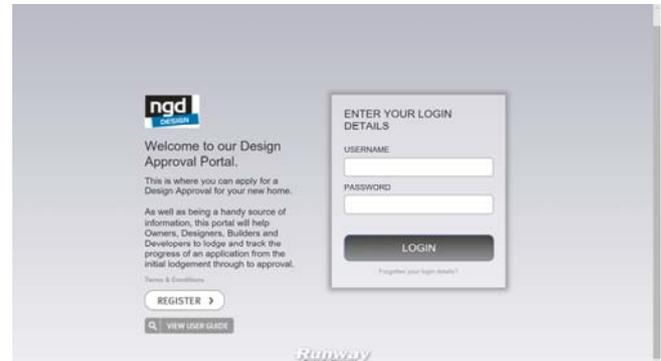
### Submission Requirements

All submissions for Design Approval must include the following information:

- **Site plan** at 1:200 minimum scale, including all boundary setback dimensions, total site coverage and floor areas, site contours, north point, easements, vehicle crossover, driveway and other non-permeable surfaces, fencing details, ancillary items and services, any proposed outbuildings and details of any proposed earthworks, retaining walls or similar.
- **Floor plans** at 1:100 minimum scale, including north point, dwelling area calculation indicating all rooms, windows, external doors and key dimensions, eaves, nominated floor levels and any proposed ancillary items and services.
- **Elevations** at 1:100 minimum scale, indicating all wall and building heights, external materials and finishes, ancillary items and services, and any proposed earthworks, retaining walls or similar.
- **Colour and material selection**, detailing schedule of external materials and items, including percentage of wall materials, brand names, profiles, colour names and swatches (where possible).

### Submissions

When you are ready to make your submission for Design Approval, you can lodge it on the Design Approval Portal at [www.ngdd.com.au](http://www.ngdd.com.au).



Users must first register to use the portal. Once this has been done, log in and simply enter the relevant details when prompted.

The portal helps owners, designers, builders and developers to lodge and track the progress of a submission from the initial lodgement through to approval.

Generally, the Design Review Panel (**DRP**) will review and respond to you within 10 working days of your submission, but this time may vary depending on the nature and completeness of your submission.

#### Handy Hint

Please note that incomplete submissions are the single greatest cause of delays in obtaining a Design Approval.

### Re-Submissions

Should a re-submission be required, please ensure that any alterations or changes are suitably highlighted on the plans or in any accompanying communication. This will help to speed up the processing and assessment.

### Application Fee

An application fee of \$150.00 is payable to Bisinella Developments for assessment of the plans by the DRP. If more than 2 assessments are required, then additional fees may be payable. Once a submission is received by the DRP, an invoice will be issued for payment.

**PRE-COATED STEEL FENCING**

Lots in the Baywater Estate include boundary fencing. This will be installed by the developer on completion of the house.

The owner must supply and install any wing fences prior to certificate of occupancy so that the backyard is not visible from the street.

No fence will be installed where there is an existing fence (for example, a lot which abuts another estate).

No fence will be installed where an existing garage or building forms the boundary of the property.

All boundary fencing will be approximately 1.95m high.

No front fences are permitted on Lots 1-12, 39 and 40.

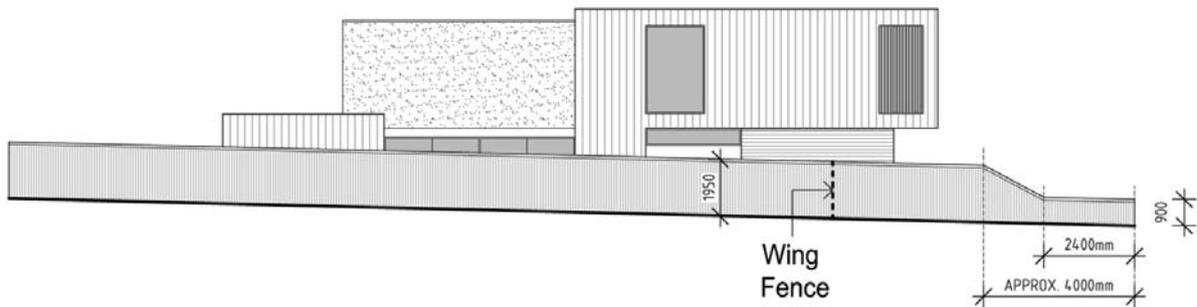
Please see Fencing Diagram for more information a copy of which is attached to the Contract of Sale or can be obtained from the office of L. Bisinella Developments P/L.

Please contact our office for a fencing request form when your house is near completion.

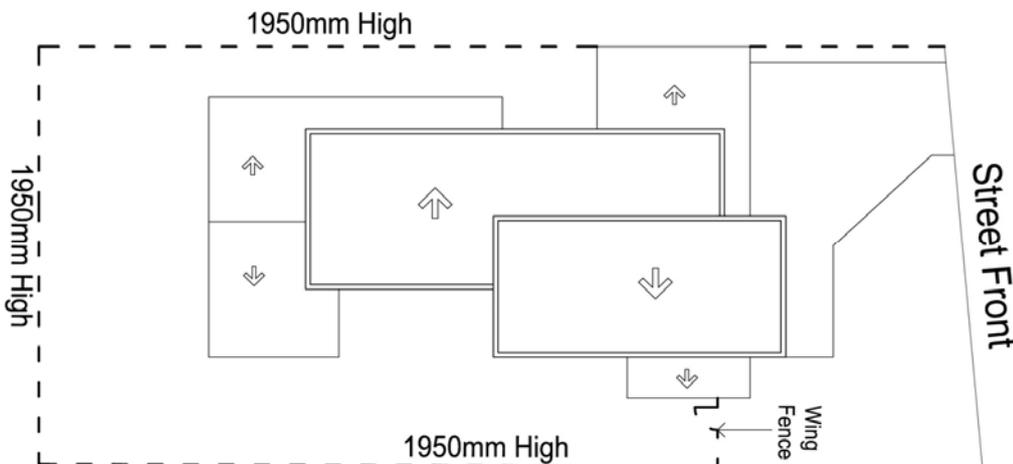
**ARCHITECTURAL FENCING**

The Baywater Estate includes architectural fencing on Lots which abut plantation reserves. Please review the Fencing Diagram to determine if your lot has architectural fencing along a plantation reserve.

The architectural fence is constructed to a height of 1.95m along the boundaries of Lots which abut a reserve lot. A gap of 5mm to 10mm between the timber battens allows for casual surveillance of the reserves. The timber fences will be installed and painted to match, as best as possible, the pre-coated steel fencing.



**Fence Profile**



**Fencing explanatory plan**

## DWELLING TIME RESTRICTION

Houses must be completed within 4 years of settlement of the land.

Construction must start within 3 years of settlement.

## RUBBISH AND SITE MANAGEMENT

Rubbish must be stored in a suitable receptacle for containing and disposal of rubbish.

Please ensure that your builder has allowed for a mini skip or similar during the construction of your house. In the event of non-compliance with this requirement, the lot owner will be fined \$250 per week for uncontained rubbish.

## PARKING OF VEHICLES

The parking of commercial vehicles is to be accommodated within the garage.

Parked commercial vehicles or caravans must not be visible from the street.

## NO VEHICLE REPAIRS ON THE STREET

A lot owner must not carry out any vehicle repairs in public view.

## NO SECOND-HAND MATERIALS

No second-hand materials shall be used on the exterior of the dwelling, shed, garage or any other external fixture.

## LETTER BOX

Letter boxes must compliment the house design and must be submitted for approval by the DRP as part of the Application Form.

Post mounted powder-coated letter boxes are not permitted.

## RAIN TANKS

Rain tanks cannot be more than 25% visible from the street frontage.

## VEHICULAR ACCESS

Any driveway must be constructed from aggregate, patterned concrete, or exposed stone concrete.

Any driveway and/or crossover must not be constructed from crushed rock.

Any driveway and/or crossover must be completed within 21 days after the date of issue of a Certificate of Occupancy for the dwelling.

## HOUSE CONSTRUCTION

All external walls (*except windows and doors*) must be constructed from items in tables A, B, C, D, E and F, provided that the sum of items in each table does not exceed the following percentages of the total external walls of the dwelling (excluding windows and doors):

### Table A: (70%)

- Natural timber
- Stained timber
- Painted timber
- Fibre cement weatherboard

### TABLE B: (60%)

- Rendered concrete
- Rendered autoclaved aerated concrete
- Rendered brick
- Rendered block-work
- Rendered foam board
- Rendered cement sheet

### TABLE C: (70%)

- Block-work
- Split face block
- Stone

### TABLE D: (70%)

- Bricks
- Split face brick

### TABLE E: (40%)

- Painted fibre cement siding/cladding
- Fibre cement wall board finished with a painted render or textured paint or painted membrane finish
- Non reflective pre-coated steel

For the avoidance of doubt, the exterior of a shipping container is not non-reflective pre-coated steel and, consequently, no part of any external wall of such dwelling may be constructed of the exterior of one or more shipping containers.

### TABLE F: (5%)

- Any other materials provided that those materials are not affixed to any external surface of the dwelling and visible from the street frontage or any municipal reserve.

## GARAGES AND CARPORTS

Single attached carports are only allowed on Lots that have an area equal to or less than 400m<sup>2</sup>.

Any single attached carport width cannot exceed 4 metres when measured from the external perimeter of the carport.

Any single attached carport must have either a panel lift or tilt door fitted to the front of the carport so as to screen the internal space of the carport from the streetscape.

No double carports are allowed.

Any freestanding garage must not exceed 3.6 metres above ground level and must be constructed from non-reflective pre-coated steel or materials listed in Table A, B, C or D with a non-reflective pre-coated steel roof save any freestanding garage which is more than 60% visible from the street frontage must be constructed from the same materials to match the roof form and materials of the dwelling.

## SHEDS AND EXTERNAL FIXTURES

Sheds and external fixtures must not exceed 3.6 metres in height from the natural ground level.

Sheds and external fixtures must have walls constructed from non-reflective, pre-coated steel or materials listed in Table A, B, C and D with a pitched non-reflective pre-coated steel roof.

No side can be more than 60% visible from the street frontage.

## MINIMUM HOUSE SIZE ON PRIME LOTS

On Lots 1 - 19 and Lots 37- 45, the dwelling must not have a floor area less than 280 sqm (including a garage or carport as the case may be, but excluding verandahs, decks or pergolas).

## MINIMUM HOUSE SIZE ON OTHER LOTS

On Lots over 500m<sup>2</sup> or where specified in the relevant plan of subdivision the dwelling must not have a floor area less than 180sqm (including a garage or carport as the case may be, but excluding verandas, decks or pergolas).

## NO UNIT SITES

Only a single dwelling is permitted on each lot.

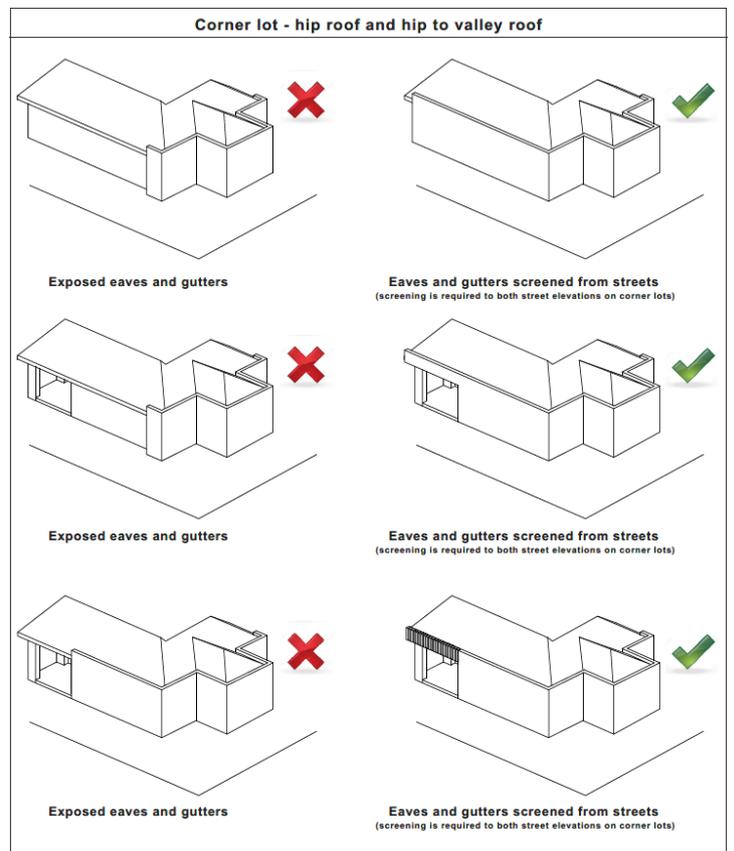
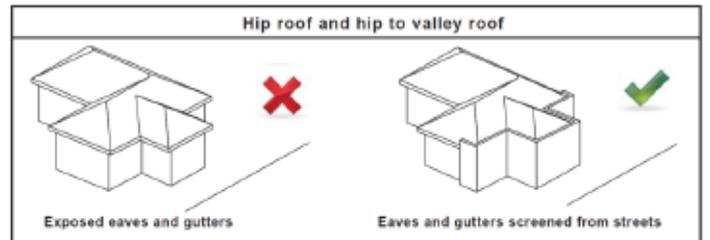
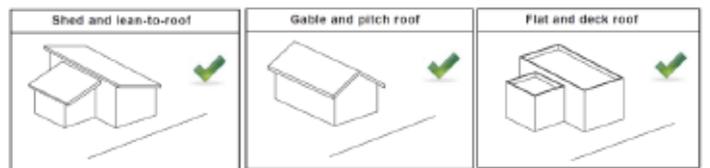
## ROOF FORMS:

A dwelling must have any, or a combination of the following acceptable roof forms:

- **Shed or lean-to-roof;**
- **Gable or Pitch roof;**
- **Hip Roof\*;**
- **Gable and Valley;**
- **Hip and Valley roof\*;**
- **Deck Roof.**

**\* Note:** Exposed eaves and guttering to hip roofs or hip to valley roofs are to be avoided or screened from lot frontage.

Please refer below for acceptable roof form examples.



## **BOND**

A bond is to be paid at settlement to ensure the conditions of these Design Guidelines are satisfied.

Upon completion of your new home, landscaping and fencing, please request a Bond Release Form from the Bisinella office.

Once the DRP has verified compliance, the bond will be returned to you by the developer's solicitor.

Bisinella Developments retains the right to setoff or deduct from the bond any amount which the purchaser is liable to pay Bisinella under these Design Guidelines or the contract of sale.

Prime Lots require a bond of \$5,000 and other Lots require a bond of \$2,000.

Prime Lots means Lots 1-19 and 37-45.

## **WHAT IS NEEDED TO PURCHASE A BLOCK?**

- Full names of the purchaser/s and the registered address/es (*not a postal address*)
- The name of your representative (i.e. solicitor or conveyancer) to whom the contract of sale will be sent.
- A 5% deposit is required. We only accept payment by direct deposit. We do not accept cash payments.

## **MORE INFORMATION**

Please contact the Bisinella Developments land sales office if you have any questions or concerns regarding these Design Guidelines. We have established these Design Guidelines to ensure a high quality for your new home and neighbourhood. We are happy to assist you in meeting these requirements.

## **DISCLAIMER**

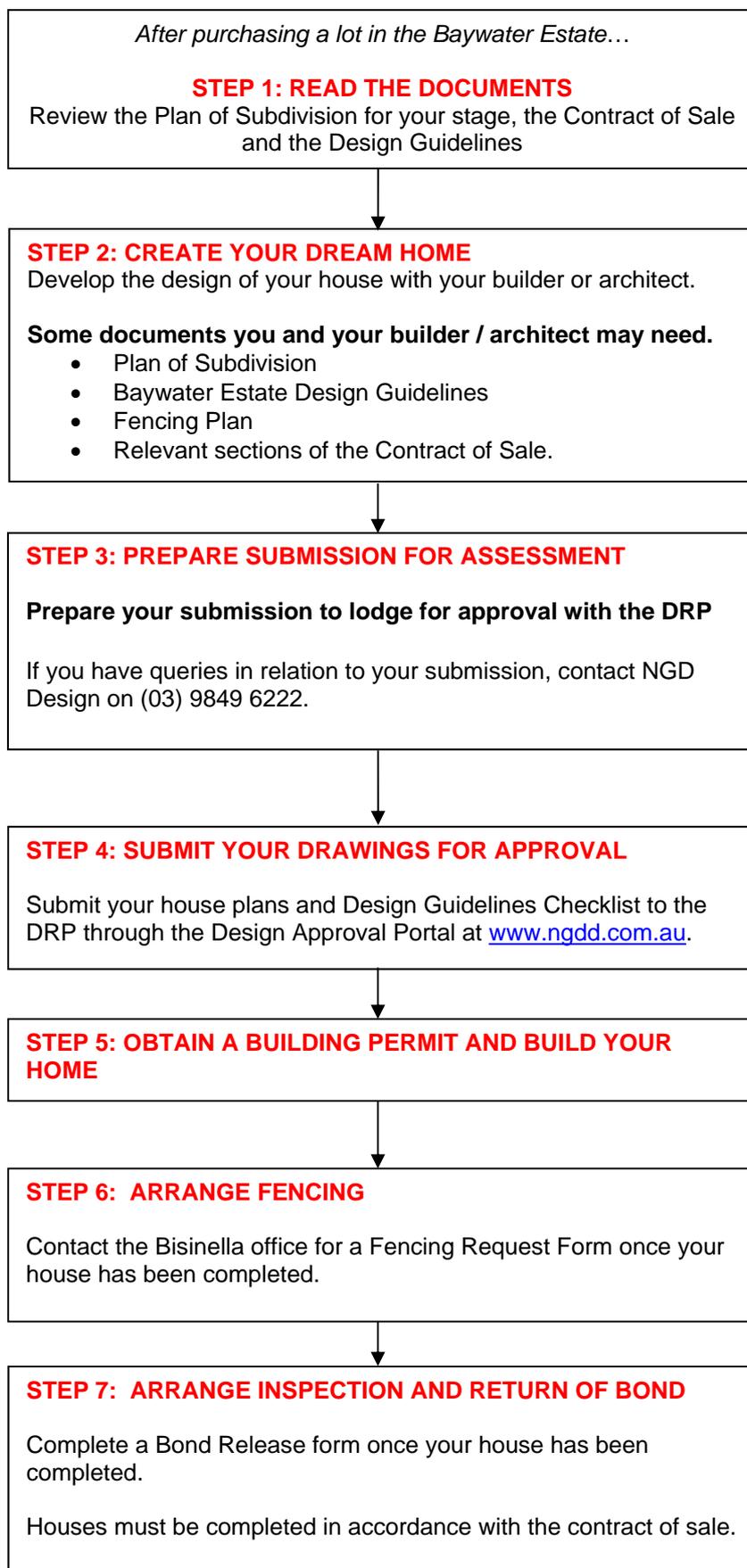
This brochure contains only certain guidelines in relation to the construction of dwellings and other buildings and landscaping on the Lots in Baywater Estate.

There are further restrictions, conditions, covenants and obligations that require compliance in relation to the lot development both prior to and following the commencement of construction. These are contained in the Contract of Sale, the Plan of Subdivision and the Deed of Restriction (if applicable).

The Purchaser acknowledges that no approval by the DRP will constitute any representation that the plans and specifications comply with any of the further restrictions, conditions, covenants and obligations contained in the Contract of Sale, the Plan of Subdivision and the Deed of Restriction (if applicable).

Purchasers should seek legal advice in relation to the requirements of the vendor in relation to their lot development.

# QUICK GUIDE TO OUR SEVEN STEP PROCESS



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# Bisinella

*the key to your community*

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