
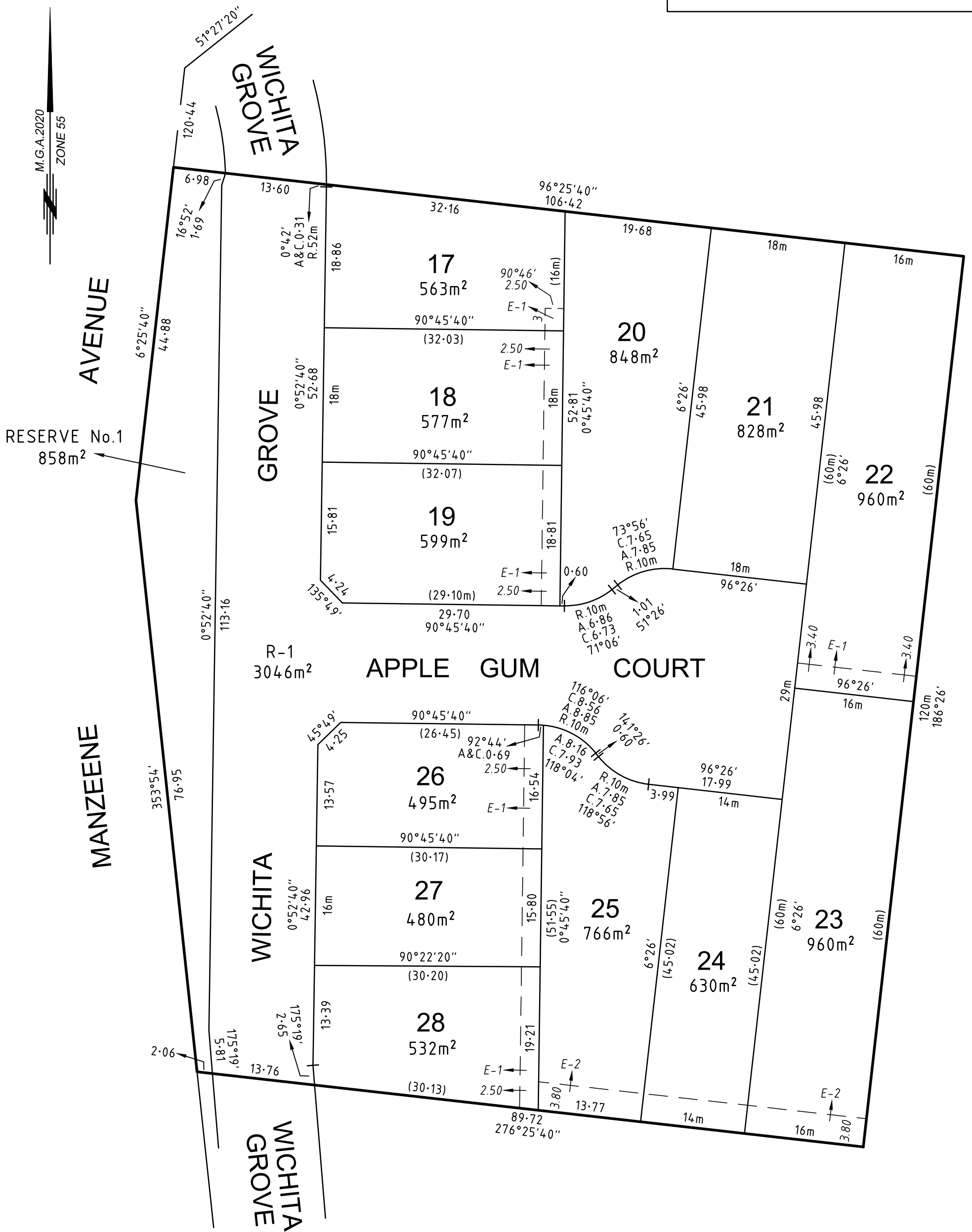
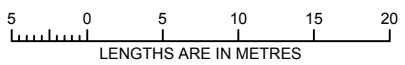


PLAN OF SUBDIVISION			EDITION 1	PLAN NUMBER PS834019C
LOCATION OF LAND PARISH: MORANGHURK TOWNSHIP: - SECTION: 22 CROWN ALLOTMENT: 2 (PART) CROWN PORTION: - TITLE REFERENCE: VOL. FOL. LAST PLAN REFERENCE: LOT A ON PS828252F POSTAL ADDRESS: 90-104 MANZEENE AVENUE (at time of subdivision) LARA, 3212 MGA CO-ORDINATES: E: 270 190 ZONE: 55 (of approx centre of land in plan) N: 5 789 330 GDA 2020			MUNICIPALITY: CITY OF GREATER GEELONG	
VESTING OF ROADS AND/OR RESERVES			NOTATIONS	
IDENTIFIER	COUNCIL/BODY/PERSON		CREATION OF RESTRICTION SEE SHEET 3 FOR RESTRICTION DETAILS. LOTS 1-16 HAVE BEEN OMITTED FROM THIS PLAN.	
ROAD R-1 RESERVE No.1	CITY OF GREATER GEELONG CITY OF GREATER GEELONG			
NOTATIONS				
DEPTH LIMITATION: DOES NOT APPLY				
SURVEY: This plan is is not based on survey. STAGING: This is is not a staged subdivision. Planning Permit No.PP-464-2014/C This survey has been connected to permanent marks Moranghurk PM's 122 & 128 & Woornyalock PM 22				
EASEMENT INFORMATION				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1 & E-2	PIPELINES OR ANCILLARY PURPOSES	SEE PLAN	THIS PLAN & SECTION 136 WATER ACT 1989	BARWON REGION WATER CORPORATION
E-2	DRAINAGE	SEE PLAN	THIS PLAN	CITY OF GREATER GEELONG
 ABN 11 125 568 461 Level 1, 27-31 Myers Street (PO Box 1137) Geelong, VIC Australia 3220 Phone +61 3 5202 4600 Fax +61 3 5202 4691 Email: victoria@cardno.com.au Web: www.cardno.com		SURVEYORS FILE REF: 17689-102		ORIGINAL SHEET SIZE: A3
		DAVID R RENDLE / VERSION 6		SHEET 1 OF 3 SHEETS



SURVEYORS FILE REF: 17689-102

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SCALE 1:500

 LENGTHS ARE IN METRES

DAVID R RENDLE / VERSION 6


ORIGINAL SHEET SIZE: A3
 SHEET 2

CREATION OF RESTRICTION A.

Upon registration of this Plan of Subdivision (PS834019C) the following restriction is created:

Lot burdened	Lot/s benefited
17	18, 20
18	17, 19, 20
19	18, 20
20	17, 18, 19, 21
21	20, 22
22	21, 23
23	22, 24
24	23, 25
25	24, 26, 27, 28
26	25, 27
27	25, 26, 28
28	25, 27

DESCRIPTION OF RESTRICTION A.

Buildings shall not be located in the area shown thus  except for allowable encroachments listed in the Building Regulations 2006.

DEFINITIONS

"Building" means any structure

CREATION OF RESTRICTION B.

Upon registration of this plan (PS834019C) the following restriction is created:

Lot burdened	Lot/s benefited
17	18
18	19
23	24
24	23
25	24
27	28
28	27

DESCRIPTION OF RESTRICTION B.

The registered proprietor or proprietors for the time being of the burdened lot must not:

1. Build or permit to build any building(s) that does not provide 1.0 metre clear horizontal access down the entire length of at least one side boundary of the lot.

CREATION OF RESTRICTION C:

Upon registration of this Plan of Subdivision (PS834019C) the following restriction is created:

Land to be benefited: Lots 17 - 28 (both inclusive) on this Plan (PS834019C)

Land be burdened: Lots 17 - 28 (both inclusive) on this Plan (PS834019C)

DESCRIPTION OF RESTRICTION C:

Except with the prior consent of the Developer, the registered proprietor from the time being of any lot on this plan of subdivision to which the following restrictions apply must not:

- (a) Subdivide or allow the lot to be subdivided.
- (b) Consolidate or allow the lot to be consolidated.

For the purposes of this Restriction:

"Developer" means L Bisinella Developments Pty Ltd

(ACN 006 806 677) of 195 Forest Road, Lara, VIC 3212 or any of its related bodies corporate within the meaning of Section 50 of the Corporations Act 2001 (Cth) (as amended from time to time) and its successors, substitutes, permitted assigns, executors and administrators.

PLAN NUMBER
PS834019C

CREATION OF RESTRICTION D.

Upon registration of this Plan of Subdivision (PS834019C) the following restriction is created:

Land to be benefited: Lots 17 - 28 (both inclusive) on this plan (PS834019C)

Land to be burdened: Lots 17 - 28 (both inclusive) on this plan (PS834019C)

DESCRIPTION OF RESTRICTION D.

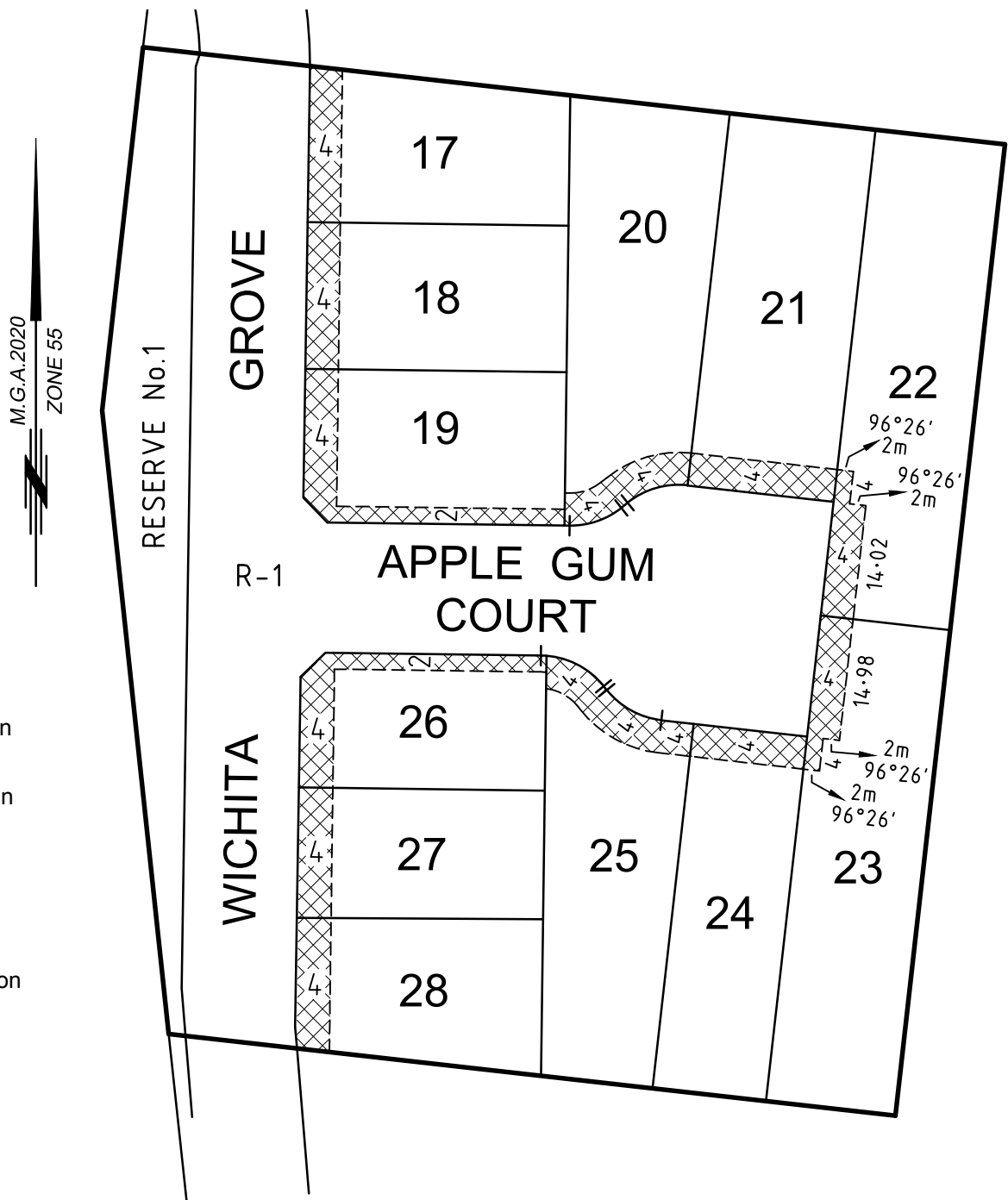
Except with the prior consent of the Developer, the burdened land must not be used or developed other than in accordance with the provisions recorded in the Memorandum of Common Provision (MCP) with Dealing Number AA6238. The Provisions of the said MCP are incorporated into this Restriction.

For the purposes of this Restriction:

"Developer" means L Bisinella Developments Pty Ltd (ACN 006 806 677) of 195 Forest Road, Lara, VIC 3212 or any of its related bodies corporate within the meaning of Section 50 of the Corporations Act 2001 (Cth) (as amended from time to time) and its successors, substitutes, permitted assigns, executors and administrators.

EXPIRY DATE

The above Restrictions A-C (all inclusive) shall cease to have effect 20 years after the date of registration of this Plan of Subdivision.

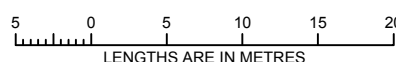


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ORIGINAL SHEET
SIZE: A3

SHEET 3

AA6238

**Memorandum of common provisions
Section 91A Transfer of Land Act 1958**

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Lodged by	
Name:	Redman Lynch Washington
Phone:	(03) 4245 2020
Address:	Level 1, 77 Yarra Street, Geelong, Victoria 3220
Reference:	2019:1579
Customer code:	21067V

This memorandum contains provisions which are intended for inclusion in instruments and plans to be subsequently lodged for registration.

Provisions:

Except with the prior written consent of the Developer, the registered proprietor or proprietors from the time being of any Lot on the Plan of Subdivision must not:

1. Construct any Dwelling unless the external walls (except windows and doors) are constructed from items in the following tables A, B and C provided that the sum of items in each table shall not exceed the corresponding percentages of the total external walls of the Dwelling (excluding windows and doors):

Table	Materials	Maximum % of the total external walls of a Dwelling (excluding windows and doors)
A	<ul style="list-style-type: none"> • Brick • Brick veneer • Stone • Rendered concrete • Rendered brick 	100
B	<ul style="list-style-type: none"> • Timber • Painted fibre cement weatherboard • Rendered foam board • Rendered fibre cement sheet 	40
C	<ul style="list-style-type: none"> • Concrete • Painted fibre cement siding • Cladding 	20

2. Construct, use or place on a Lot any relocated, pre-constructed or second-hand Dwelling.
3. Use any second-hand materials on the exterior of any Dwelling or Buildings constructed on a Lot.
4. Allow any rubbish, waste or debris to be deposited or remain on a Lot (including during construction of a Dwelling or Building) other than in a suitable receptacle for containing or disposal of rubbish.

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1. The provisions are to be numbered consecutively from number 1.
2. Further pages may be added but each page should be consecutively numbered.
3. To be used for the inclusion of provisions in instruments and plans.

91ATLA

Page 1 of 2

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**Memorandum of common provisions
Section 91A Transfer of Land Act 1958**

AA6238

5. Use or develop the Lot for any other purpose than one Dwelling with a garage and any outbuildings or external fixtures or improvements allowed under this MCP.
6. Use any shipping container or part thereof in the construction of the external walls of a Dwelling or Building.
7. Construct any carport on a Lot.
8. Construct any freestanding garage other than a garage ordinarily used for the parking of Vehicles as the principle garage of the Dwelling and constructed of the same external materials as the Dwelling on the Lot.
9. Allow any recreational or commercial Vehicles to be parked on a Lot unless it is housed or contained wholly within a garage or screened from public view from the street or otherwise parked behind the wing fencing, except on a temporary basis for the purposes of delivering goods to an occupier of the Dwelling or in connection with the construction of improvements on the Lot.
10. Allow any caravan to be parked, stored or remain on the Lot unless it is not visible from the street.
11. Carry out any dismantling, assembling, repair or restoration of a Vehicle unless carried out at the rear of the Dwelling in a location which is screened from public view.
12. Construct any driveway unless it is constructed of paving blocks, patterned concrete, exposed stone concrete, brick or concrete.
13. Construct any crossover from crushed rock.
14. Leave any driveway and/or crossover construction on the Lot to be incomplete for more than 21 days after the date of issue of the certificate of occupancy for the Dwelling constructed on the Lot.
15. Construct any crossover unless it is constructed to the standard and requirements of the Responsible Authority.
16. Construct any storage or other shed on a Lot which:
 - (i) exceeds 3.6 meters in height to the ridgeline from the natural ground level of a Lot;
 - (ii) is constructed from materials other than pre-coated steel or brick with a pitched pre-coated steel or tiled roof; and
 - (iii) is located other than behind a wing fence which screens the storage or other shed from the public area of the streetscape.

For the purposes of this MCP:

"Building" means any structure except a fence.

"Developer" means Bisinella Investments Pty Ltd (ACN 057 164 806) of 195 Forest Road South, Lara, Victoria 3212 or any of its related bodies corporate within the meaning of section 50 of the *Corporations Act 2001* (Cth) (as amended from time to time) and its successors, substitutes, permitted assigns, executors and administrators.

"Dwelling" means a house.

"Lot" means a lot in the Plan of Subdivision.

"MCP" means this memorandum of common provisions.

"Plan of Subdivision" means the relevant plan of subdivision for a particular allotment which incorporates this MCP.

"Responsible Authority" means the City of Greater Geelong or other such related authority.

"Vehicle" means any car, utility, truck, van, motorbike, speedboat or other watercraft or other motorised form of transport.

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